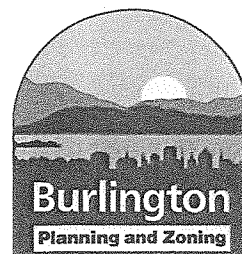


Department of Planning and Zoning

149 Church Street
Burlington, VT 05401
Telephone: (802) 865-7188
(802) 865-7195 (FAX)
(802) 865-7142 (TTY)

David White, AICP, Director
Ken Lerner, Assistant Director
Sandrine Thibault, AICP, Comprehensive Planner
Jay Appleton, GIS Manager
Scott Gustin, AICP, Senior Planner
Mary O'Neil, AICP, Senior Planner
Nic Anderson, Zoning Clerk
Elsie Tillotson, Department Secretary



TO: Development Review Board
FROM: Scott Gustin
DATE: November 5, 2013
RE: 14-0427CA; 194 St. Paul Street
14-0428CA; 1 Browns Court

Note: These are staff comments only; decisions on projects are made by the Development Review Board, which may approve, deny, table or modify any project. **THE APPLICANT OR REPRESENTATIVE MUST ATTEND THE MEETING.**

Zone: DT Ward: 6

Owner/Representative: City of Burlington & Champlain College

Request: Demolish existing Eagles Club building and excavate site. Phase 1 of a 2 phase redevelopment project. No new development included in Phase 1.

Applicable Regulations:

Article 5 (Citywide General Regulations)

Background Information:

The applicant is requesting approval to demolish the existing Eagles Club building, remove existing surface parking associated with the Club and along Browns Court, and excavate the entire site in preparation of a subsequent redevelopment project. This work is Phase 1 of a 2 phase project that is proposed to include redevelopment in the form of a mixed use apartment/commercial/parking garage building. Construction timelines have prompted the applicant to split the project into two phases. Only demolition and excavation is included in Phase 1. The applicant anticipates filing a zoning permit application for Phase 2 in November 2013.

Previous zoning actions for this property are listed below.

- 1/9/09, Approval to change use to temporary boarding house
- 7/27/06, Approval to install freestanding sign
- 11/9/99, Approval to install parallel sign
- 8/27/97, Approval to install replacement 2nd floor windows
- 1/28/93, Approval to install a telecommunications cabinet

Recommendation: Consent approval as per, and subject to, the following findings and conditions.

I. Findings

Article 5: Citywide General Regulations

Sec. 5.2.3, Lot Coverage Requirements

Lot coverage will effectively drop to zero as a result of the proposed demolition and excavation.
(Affirmative finding)

Sec. 5.2.4, Buildable Area Calculation

This criterion does not apply to properties in the DT zone.

Sec. 5.2.5, Setbacks

Not applicable.

Sec. 5.2.6, Building Height Limits

Not applicable.

Sec. 5.2.7, Density and Intensity of Development Calculations

Not applicable.

Sec. 5.5.1, Nuisance Regulations

Nothing in the proposed demolition and excavation appears to constitute a nuisance under this criterion. (Affirmative Finding)

Sec. 5.5.2, Outdoor Lighting

Not applicable.

Sec. 5.5.3, Stormwater and Erosion Control

The earthwork associated with this proposal is extensive, and a comprehensive erosion prevention and sediment control plan has been submitted as required. The excavation site will be enclosed with construction fencing and sheeting, and excavation will be limited to ½ acre at any given time. A temporary sediment basin is proposed to capture stormwater onsite, and a stabilized construction entrance is proposed to minimize dirt tracking onto city streets. Performance measures for stabilizing disturbed areas and for cleaning offsite tracking are provided. This erosion control and sediment control plan has been submitted to the Stormwater Administrator and is pending review and approval. (Affirmative finding as conditioned)

II. Conditions of Approval

1. **Prior to release of the zoning permit**, the applicant shall obtain written approval of the Erosion Prevention and Sediment Control Plan from the Stormwater Administrator.
2. A complete zoning permit application for Phase 2 of this redevelopment project shall be filed with the Department of Planning & Zoning by December 2, 2013. Otherwise, the site shall be fully stabilized for conversion to green space as per the site stabilization standards of Chapter 26, subject to review and approval by the Stormwater Administrator.
3. Approval of this permit is for demolition and site excavation only. It shall in no manner whatsoever imply approval of any future development or of any right to develop on the premises.
4. Standard permit conditions 1-15.



CHAMPLAIN COLLEGE

RECEIVED
OCT 04 2013

DEPARTMENT OF
PLANNING & ZONING

163 South Willard Street
P.O. Box 670
Burlington, VT 05402-0670
(802) 860-2700 | (800) 570-5858
fax (802) 860-2767
www.champlain.edu

3 October 2013

Mr. David White, Director
Mr. Scott Gustin, Senior Planner
City of Burlington
Department of Planning and Zoning
City Hall – 14 Church Street
Burlington, Vermont 05401

RE: Zoning Permit Application for Building Demolition and site Excavation
194 St. Paul Street and 0 Brown's Court

Gentlemen:

As per our recent discussions, please accept this correspondence and supporting documents for a zoning permit application for demolition and site excavation at the above-referenced properties.

1. Completed application form
2. \$610 Application Fee (\$110 + \$500)
3. Supporting Information including:
 - a. *Existing Conditions Plan and Erosion Prevention and Sediment Control Plan-Phase 1* prepared by Lamoureux and Dickenson Consulting Engineers

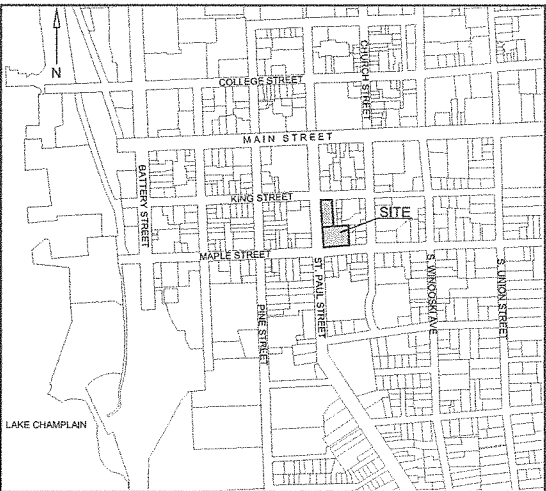
As we have discussed, the building demolition and site excavation contemplated by this permit application represent Phase 1 of a proposed plan to redevelop the site into a mixed use student apartment project sponsored by Champlain College. Architectural and site plans of the proposed building and site improvements (Phase 2 of the project) are currently underway and should be ready for submission in early November. Given our timeline, however, it is critical the work contemplated by the Phase 1 permit application commence as soon as possible. Hence our decision to separate the project development review into two distinct permit applications.

The College understands the limits of this permit application and accepts the risk that approval of Phase 1 is not a guarantee of a subsequent approval of the student apartment project. Indeed, to the extent the sale of the Brown's Court parcel from the City to the College is conditioned on the College's agreement to redevelop the Site for student apartments, we can assure you we are motivated to make application for Phase 2 and proceed through the development review process as quickly as possible. We feel the purchase price associated with the transaction should provide the City with adequate assurance that we will honor our commitment. However we can discuss providing the City with additional surety, if required.

Thank you for your ongoing assistance as we commence this exciting Project. If additional information is required, please advise.

Sincerely,

John Caulo
Associate Vice President – Campus Planning and Auxiliary Services




LOCATION MAP
NOT TO SCALE

PROJECT DATA

PROJECT AREA = 0.998 ACRE
EAGLES CLUB PARCEL = 0.504 ACRE
CITY PARKING LOT PARCEL = 0.354 ACRE
CITY BROWNS COURT LOT = 0.040 ACRE

LEGEND

- PROJECT PROPERTY LINE
- ABUTTING PROPERTY LINE
- EXISTING CONTOUR
- EXISTING FENCE
- EXISTING GUARDRAIL
- EXISTING OVERHEAD UTILITY LINE
- EXISTING WATER LINE AND GATE VALVE
- EXISTING SEWER LINE AND MANHOLE
- EXISTING GAS LINE
- EXISTING TELEPHONE LINE
- EXISTING PARKING METER
- EXISTING SIGN

Date	Revision	By
These plans shall only be used for the purpose shown below:		
<input type="checkbox"/> Sketch/Concept	<input type="checkbox"/> Act 250 Review	Project No. 13056 Survey JPS Design N/A Drawn L&D Checked ABR Date 10-02-13 Scale Sheet number 1 PHASE 1
<input type="checkbox"/> Preliminary	<input type="checkbox"/> Construction	
<input checked="" type="checkbox"/> Final Local Review	<input type="checkbox"/> Record Drawing	
LANDS OF CHAMPLAIN COLLEGE, INC. KING STREET, BURLINGTON		
EXISTING CONDITIONS PLAN		
 Lamoureux & Dickinson Consulting Engineers, Inc. 14 Morse Drive, Essex, VT 05452 802-878-4450 www.LDengineering.com		

DEMOLITION NOTES:

- THE CONTRACTOR SHALL COORDINATE THE REMOVAL OF THE EXISTING SURFACES, STRUCTURES, AND UTILITIES WITH THE OWNER, UTILITY COMPANIES, AND THE CITY OF BURLINGTON.
- THE RELOCATION OF EXISTING UTILITIES SHALL BE COMPLETED IN COORDINATION WITH THE UTILITY COMPANY AND OWNER, WITH WORK IN ACCORDANCE WITH THE UTILITY COMPANY'S SPECIFICATIONS FOR CONSTRUCTION.
- EXISTING FOUNDATIONS AND STRUCTURES, NOT SHOWN ON THIS PLAN, MAY EXIST BELOW GRADE ON THE SITE. IF ENCOUNTERED, THEY SHALL BE IMMEDIATELY REPORTED TO THE OWNER AND STRUCTURAL ENGINEER. AT A MINIMUM, EXISTING FOUNDATIONS AND STRUCTURES SHALL BE REMOVED TO A DEPTH OF AT LEAST 2 FEET BELOW THE BOTTOM OF THE SUBGRADE OR ANY TRENCH BEDDING.
- WHERE REQUIRED, EXISTING UTILITY SERVICE AND ACCESS SHALL BE MAINTAINED DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND PROVISION OF TEMPORARY UTILITY SERVICES AND ACCESS AS REQUIRED. PAYMENT FOR THIS WORK SHALL BE INCIDENTAL TO THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.
- EXISTING STRUCTURES, PAVEMENT, SURFACES, AND UTILITIES SHALL BE REMOVED WHERE INDICATED ON THE PLANS, AND AS NECESSARY TO CONSTRUCT AND COMPLETE THE IMPROVEMENTS SHOWN ON THE PLANS. THE EXCAVATION, REMOVAL, AND DISPOSAL OF MATERIALS SHALL BE IN ACCORDANCE WITH APPLICABLE LAWS, RULES, REGULATIONS, AND PROTOCOLS. THE WORK SHALL INCLUDE THE EXCAVATION, DISPOSAL, BORROW, AND PLACEMENT OF SUITABLE MATERIAL IN CONFORMANCE WITH THE LINES, GRADES, AND TYPICALS SHOWN ON THE PLANS.

UTILITY CONSTRUCTION NOTES:

- THE LOCATIONS AND PIPE MATERIAL OF THE WATER AND SEWER SERVICES AND MAINS ARE BASED UPON RECORD INFORMATION PROVIDED BY THE PUBLIC WORKS DEPARTMENT AND FIELD OBSERVATIONS. THE ACTUAL LOCATION OF THE EXISTING MAINS AND SERVICES MAY VARY FROM THAT SHOWN ON THIS PLAN.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PERFORM EXPLORATORY TEST PITS TO VERIFY THE HORIZONTAL LOCATION AND ELEVATION OF THE WATER AND SEWER SERVICES TO THE FORMER EAGLES CLUB BUILDING. TIES FOR, AND THE ELEVATION OF, EACH SERVICE SHALL BE REPORTED TO THE ENGINEER.
- ALL UTILITY WORK SHALL BE PERFORMED IN A MANNER THAT MINIMIZES INTERRUPTIONS IN SERVICE TO OTHER ADJACENT USERS.
- WHERE TEMPORARY INTERRUPTIONS IN UTILITY SERVICES ARE REQUIRED, THE CONTRACTOR SHALL COORDINATE WITH THE DEPARTMENT OF PUBLIC WORKS AND SHALL PROVIDE WRITTEN NOTICE TO AFFECTED USERS IN ACCORDANCE WITH THE DEPARTMENT REQUIREMENTS.

CITY RIGHT OF WAY REQUIREMENTS:

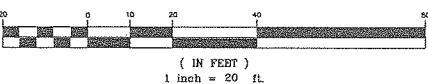
- AUTHORIZATION FROM THE DEPARTMENT OF PUBLIC WORKS SHALL BE OBTAINED PRIOR TO PERFORMING ANY WORK WITHIN THE CITY'S RIGHT OF WAY ALONG BROWNS COURT, KING STREET, ST. PAUL STREET, AND MAPLE STREET.
- THE SITE CONTRACTOR SHALL IMPLEMENT TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH THE REQUIREMENTS OF THE DEPARTMENT OF PUBLIC WORKS AND THE MUTCD. WORK SHALL CONFORM WITH THE VTRANS STANDARD SPECIFICATIONS FOR CONSTRUCTION AND THE "STANDARDS" OF THE VTRANS CONSTRUCTION STANDARDS.
- SIDEWALK CLOSURES SHALL BE APPROVED IN ADVANCE BY THE DEPARTMENT OF PUBLIC WORKS. ALTERNATE PEDESTRIAN ROUTES SHALL BE DESIGNATED AND IDENTIFIED IN ACCORDANCE WITH THE MUTCD.
- ALL WORK AND DISTURBANCE WITHIN THE CITY RIGHT OF WAY SHALL BE LIMITED TO THAT SPECIFIC AREA APPROVED. WORK SHALL NOT EXTEND BEYOND THE APPROVED LIMITS OF DISTURBANCE.
- UNLESS APPROVED OTHERWISE, THERE SHALL BE NO DISTURBANCE OF THE GREEN STRIP BETWEEN THE SIDEWALK AND CURB ALONG ST. PAUL STREET AND MAPLE STREET. THIS SHALL INCLUDE THE EXISTING TREES IN THIS GREEN STRIP. SPECIAL CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE TREES AND TO THE SURROUNDING GRASS AREAS.
- NO VEHICLE PARKING OR STORAGE OF MATERIALS SHALL BE ALLOWED IN THE GREEN STRIP BETWEEN THE SIDEWALK AND CURB ALONG ST. PAUL STREET AND MAPLE STREET.

MANHOLE DATA

M1 M1.06
RIM = 142.5
10" VC IN = 140.5 (NE)
10" VC IN = 143.5 (SE)
12" VC IN = 138.4
72" CONC IN = 138.4
72" CONC OUT = 137.1

PIPE INVERT DATA OBTAINED FROM
BURLINGTON DPW AND NOT FIELD
VERIFIED BY THIS OFFICE

GRAPHIC SCALE



STANDARD EPSC PLAN REQUIREMENTS

THIS SECTION CONTAINS THE MINIMUM REQUIRED ELEMENTS FOR THE EROSION PREVENTION AND SEDIMENT CONTROL PLAN. THESE ELEMENTS ARE IN ADDITION TO THE SITE SPECIFIC EROSION PREVENTION AND SEDIMENT CONTROL PRACTICES SHOWN ON THE PLANS.

EROSION PREVENTION

- THROUGHOUT CONSTRUCTION, THE AREA OF SOIL DISTURBANCE SHALL BE LIMITED TO THOSE AREAS THAT CAN BE ACTIVELY WORKED AND MANAGED WITH THE FORCES AVAILABLE. AREAS THAT ARE NOT ACTIVELY BEING WORKED FOR A PERIOD OF 5 DAYS OR MORE, SHALL BE TEMPORARILY STABILIZED.
- THE MAXIMUM AREA OF SOIL DISTURBANCE AT ANY ONE TIME ON THE ENTIRE PROJECT PARCEL SHALL BE 0.5 ACRE.
- SEDIMENT BASINS, SEDIMENT TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS, AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND-DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UPSLOPE LAND DISTURBANCE TAKES PLACE.
- CONCENTRATED RUNOFF SHALL NOT FLOW DOWN CUT OR FILL SLOPES UNLESS CONTAINED WITHIN AN ADEQUATE TEMPORARY OR PERMANENT CHANNEL, FLUME, OR SLOPE DRAIN STRUCTURE.
- WHenever water seeps from a slope face, adequate drainage or other protection shall be provided.
- BEFORE NEWLY CONSTRUCTED STORMWATER CONVEYANCE CHANNELS OR PIPES ARE MADE OPERATIONAL, ADEQUATE OUTLET PROTECTION AND ANY REQUIRED TEMPORARY OR PERMANENT CHANNEL LINING SHALL BE INSTALLED IN BOTH THE CONVEYANCE CHANNEL AND THE RECEIVING CHANNEL.
- UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS IN ADDITION TO OTHER APPLICABLE CRITERIA:
 - NO MORE THAN 900 LINEAR FEET OF TRENCH MAY BE OPENED AT ONE TIME.
 - EXCAVATED MATERIAL SHALL BE PLACED ON THE UPSIDE OF TRENCHES.
- ALL SEDIMENT REMOVED FROM SEDIMENT CONTROL PRACTICES AS A PART OF MAINTENANCE SHALL BE DISPOSED OF IN AN AREA THAT IS:
 - LESS THAN 2% IN SLOPE.
 - AT LEAST 100 FT. FROM ANY DOWNSLOPE WATER BODY OR CONVEYANCE TO A WATER BODY (INCLUDING STORM DRAIN INLET OR DITCH).
 - VEGETATED.PERMANENT STABILIZATION OF SEDIMENT SHALL BE IMMEDIATELY IMPLEMENTED FOLLOWING DISPOSAL.
- FOR ANY AREA TO BE STABILIZED FOR WINTER BY VEGETATIVE COVER, SEEDING MUST BE COMPLETED NO LATER THAN SEPTEMBER 15.
- ANY AREA TO BE STABILIZED FOR WINTER THAT DOES NOT HAVE ESTABLISHED VEGETATION BY OCTOBER 15 MUST BE STABILIZED BY ANCHORED MULCH AT THE WINTER APPLICATION RATE OF 4 TONS PER ACRE, OR OTHER APPROVED STABILIZATION MEASURES (E.G. ROLLED EROSION CONTROL PRODUCT), DORMANT SEEDING (E.G. WITH WINTER RYE) IS RECOMMENDED.
- DISTURBED AREAS BORDERING AND DRAINING TO STREET MUST HAVE AN APPROPRIATE SEGMENT BARRIER SPANNING THE EDGE OF THE DISTURBANCE TO PREVENT WASHING OF SEDIMENT ONTO SIDEWALKS OR STREETS AND GUTTERS.
- MAY MULCH SHALL BE APPLIED AT A MINIMUM RATE OF 2 TONS PER ACRE. MAY MULCH APPLICATION DURING WINTER CONSTRUCTION SHALL BE AT A RATE OF 4 TONS PER ACRE. WHERE SUBJECT TO BLOWING, MULCH SHALL BE SECURED IN PLACE BY TRACKING WITH EQUIPMENT (WITH TRACK RUNNING PARALLEL TO SLOPE), A TACKIFIER, NETTING, OR COVERED/REPLACED WITH PROPERLY ANCHORED EROSION MATTING.
- PLACEMENT OF SEED AND MULCH SHALL OCCUR WITHIN 48 HOURS OF PLACEMENT OF TOPSOIL, AND COMPLETION OF FINAL GRADING (NOT WITHSTANDING STABILIZATION REQUIREMENTS ELSEWHERE IN THIS PLAN).
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED, UNLESS OTHERWISE AUTHORIZED.

STABILIZATION

- ALL AREAS OF DISTURBANCE MUST HAVE TEMPORARY OR PERMANENT STABILIZATION WITHIN 14 CALENDAR DAYS. AFTER THIS TIME, ANY DISTURBANCE IN THE AREA MUST BE STABILIZED AT THE END OF EACH WORK DAY.

THE FOLLOWING EXCEPTIONS APPLY:

- STABILIZATION IS NOT REQUIRED IF WORK IS TO CONTINUE IN THE AREA WITHIN THE NEXT 24 HOURS AND THERE IS NO PRECIPITATION FORECAST FOR THE NEXT 24 HOURS.
- STABILIZATION IS NOT REQUIRED IF THE WORK IS OCCURRING IN A SELF-CONTAINED EXCAVATION (I.E. NO OUTLET) WITH A DEPTH OF 2 FEET OR GREATER (E.G. BUILDING FOUNDATION EXCAVATION, UTILITY TRENCHES).
- MAINTENANCE MUST BE PERFORMED AS NECESSARY TO ENSURE CONTINUED STABILIZATION. EXCEPT AS NOTED BELOW, ALL SITES SHALL BE SEEDING AND STABILIZED WITH EROSION CONTROL MATERIALS, SUCH AS MULCH OR ROLLED EROSION CONTROL PRODUCTS, INCLUDING AREAS WHERE CONSTRUCTION HAS BEEN SUSPENDED OR COMPLETED.
 - ON THE CUT SIDE OF STREETS/DROVES, DITCHES SHALL BE STABILIZED IMMEDIATELY WITH ROCK RIP-RAP OR OTHER NON-ERODIBLE LINERS (E.G. RECP), OR WHERE APPROPRIATE, VEGETATIVE MEASURES SUCH AS SOD.
 - FOR ACTIVE CONSTRUCTION AREAS SUCH AS BORROW OR STOCKPILE AREAS, STREET IMPROVEMENTS AND AREAS WITHIN 50 FT. OF A BUILDING UNDER CONSTRUCTION, A DOWNSLOPE PERIMETER SEDIMENT CONTROL SYSTEM CONSISTING, FOR EXAMPLE, OF SILT FENCE, SHALL BE INSTALLED AND MAINTAINED TO CONTAIN SOIL. EXPOSED DISTURBED AREAS ADJACENT TO A CONVEYANCE THAT PROVIDES RAPID OFFSITE DISCHARGE OF SEDIMENT, SUCH AS A CUT SLOPE AT AN ENTRANCE, SHALL BE COVERED WITH PLASTIC OR GEOTEXTILE TO PREVENT SOIL LOSS UNTIL IT CAN BE STABILIZED. STABILIZED CONSTRUCTION ENTRANCES WILL BE MAINTAINED TO CONTROL VEHICLE TRACKING MATERIAL OFF SITE.
 - TEMPORARY SEDIMENT TRAPPING DEVICES SHALL NOT BE REMOVED UNTIL PERMANENT STABILIZATION IS ESTABLISHED IN ALL CONTRIBUTE DRAINAGE AREAS. SIMILARLY, STABILIZATION SHALL BE ESTABLISHED PRIOR TO CONVERTING SEDIMENT TRAPS/BASINS INTO PERMANENT POST-CONSTRUCTION STORMWATER MANAGEMENT PRACTICES.
 - STABILIZATION MEASURES SHALL BE APPLIED TO EARTHEN STRUCTURES SUCH AS DAMS, DIKES, AND OVERSICHS IMMEDIATELY AFTER INSTALLATION.
 - ALL SLOPES STEEPER THAN 3:1 (H:V), OR 33.3%, AS WELL AS PERIMETER DIKES, SEDIMENT BASINS OR TRAPS, AND EMBANKMENTS SHALL, UPON COMPLETION, BE IMMEDIATELY STABILIZED WITH SOD, SEED AND ANCHORED STRAW MULCH, OR OTHER APPROVED STABILIZATION MEASURES (RECP). AREAS OUTSIDE OF THE PERIMETER SEDIMENT CONTROL SYSTEM SHALL NOT BE DISTURBED.

WINTER CONSTRUCTION REQUIREMENTS

THE FOLLOWING REQUIREMENTS APPLY DURING THE WINTER CONSTRUCTION PERIOD, WHICH IS FROM OCTOBER 15 TO APRIL 15.

- ALL AREAS OF DISTURBANCE MUST HAVE TEMPORARY OR PERMANENT STABILIZATION AT THE END OF EACH WORK DAY.
- THE FOLLOWING EXCEPTIONS APPLY:
- STABILIZATION IS NOT REQUIRED IF WORK IS TO CONTINUE IN THE AREA WITHIN THE NEXT 24 HOURS AND THERE IS NO PRECIPITATION FORECAST FOR THE NEXT 24 HOURS.
 - STABILIZATION IS NOT REQUIRED IF THE WORK IS OCCURRING IN A SELF-CONTAINED EXCAVATION (I.E. NO OUTLET) WITH A DEPTH OF 2 FEET OR GREATER (E.G. BUILDING FOUNDATION EXCAVATION, UTILITY TRENCHES).
 - STABILIZED ACCESS POINTS SHALL BE ENLARGED TO PROVIDE FOR SNOW STOCKPILING WHILE STILL MAINTAINING EFFECTIVE SEDIMENT CONTROL. PACKED SNOW AND ICE MAY NEED TO BE REMOVED AND ADDITIONAL STONE PLACED TO MAINTAIN THE LOGS/STONE SURFACE AT STABILIZED CONSTRUCTION EXITS.
 - THE LIMITS OF DISTURBANCE MAY NEED TO BE REPLACED OR DRAWN IN TO REFLECT THE BOUNDARY OF WINTER WORK. THE LIMITS OF DISTURBANCE SHALL BE DRAWN IN TO EXCLUDE ALL AREAS TEMPORARILY STABILIZED FOR THE WINTER, AND AREAS WHERE DISTURBANCE DURING THE WINTER IS NOT PLANNED.
 - BASED UPON THE WINTER ACTIVITIES PROPOSED, THE ON-SITE PLAN COORDINATOR SHALL DEVELOP A SNOW MANAGEMENT PLAN THAT SHALL INCLUDE AT A MINIMUM:
 - ADEQUATE SIZE FOR SNOW STORAGE AREAS
 - SNOW STORAGE AREAS LOCATED DOWN GRADIENT OF AREAS OF PLANNED DISTURBANCE
 - CONTROL OF SNOWMELT RUNOFF
 - PROHIBITING STORAGE OF SNOW IN STORMWATER TREATMENT STRUCTURES.
 - A MINIMUM 25 FOOT BUFFER BETWEEN PERIMETER CONTROLS (SUCH AS SILT FENCE) TO ALLOW FOR SNOW CLEAVING AND MAINTENANCE.
 - SILT FENCE SHALL BE REINFORCED OR REPLACED WITH PERIMETER DIKES, SVALES, OR OTHER PRACTICES RESISTANT TO THE FORCES OF SNOW LOADS.
 - THE ON-SITE PLAN COORDINATOR INSPECTIONS SHALL INCLUDE MAINTENANCE OF DRAINAGE STRUCTURES TO INSURE THAT THEY ARE OPEN AND FREE OF SNOW AND ICE DAMS.
 - SILT FENCE AND OTHER PRACTICES REQUIRING EARTH DISTURBANCE SHALL BE INSTALLED AHEAD OF GROUND FREEZING. IF PRACTICES MUST BE INSTALLED OR MAINTAINED AFTER GROUND FREEZING, NO FROZEN MATERIAL SHALL BE USED IN THE CONSTRUCTION OF BERM OR DIKES, OR INSTALLATION OF SILT FENCE.

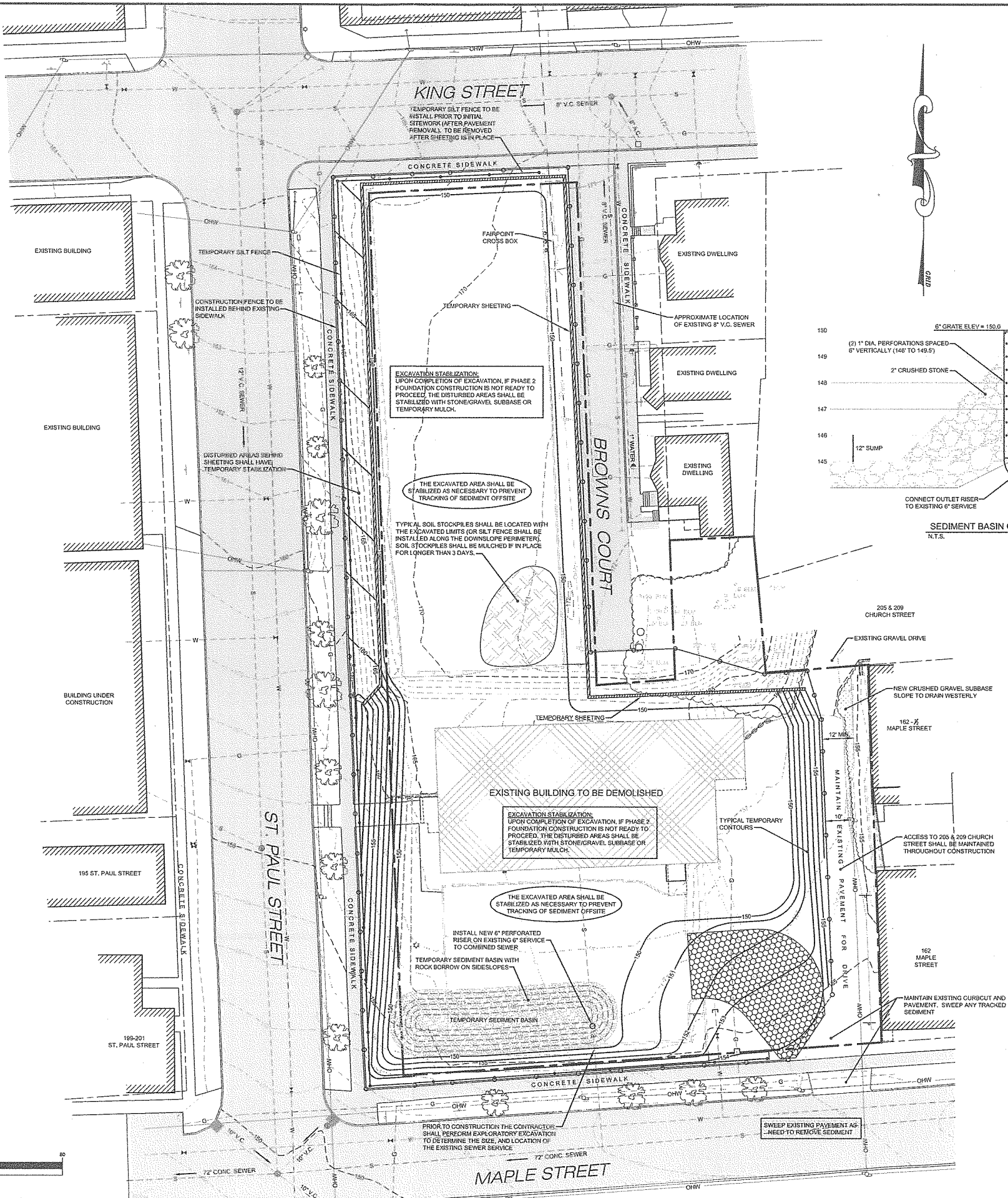
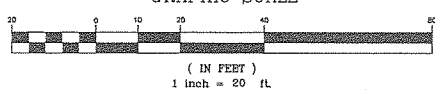
INSPECTION & MONITORING

- THE ON-SITE COORDINATOR IS TO BE DETERMINED.
 - THE PERIMETER OF THE SITE AND ALL EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AT THE END OF EACH WORKDAY. IF SEDIMENT HAS TRAVELLED BEYOND THE SITE BOUNDARY, IT SHALL BE SWEEPED UP OR OTHERWISE REMOVED AND DEPOSITED ON-SITE IN AN UPDRAINING AREA AT THE END OF EACH WORK DAY.
- THE ON-SITE COORDINATOR SHALL INSPECT, AND DOCUMENT IN WRITING, THE STATUS OF CONSTRUCTION ON THE PROJECT SITE AND EROSION AND SEDIMENT CONTROL STRUCTURES AND MEASURES AT THE END OF EACH WORK DAY. INSPECTIONS SHALL ALSO BE CONDUCTED PRIOR TO PREDICTED STORM EVENTS, AND AS SOON AS POSSIBLE, BUT NO LATER THAN 24 HOURS AFTER ANY STORM EVENT WHICH GENERATES A DISCHARGE OF STORMWATER FROM THE CONSTRUCTION SITE.
- THE OWNER, THE SITE CONTRACTOR / PRINCIPAL OPERATOR, AND THEIR REPRESENTATIVES SHALL ABIDE BY THE BEST MANAGEMENT PRACTICES PRESENTED ON THESE PLANS, REQUIRED BY THE PERMIT CONDITIONS, AND PRESENTED IN THE "VT DEC LOW RISK SITE HANDBOOK FOR EROSION PREVENTION AND SEDIMENT CONTROL."
 - DURING EACH INSPECTION, THE ON-SITE COORDINATOR SHALL VISUALLY MONITOR AND RECORD THE TURBIDITY OF ALL STORMWATER RUNOFF FROM THE CONSTRUCTION SITE IN ACCORDANCE WITH THE SAMPLING & TESTING REQUIREMENTS AND PROTOCOL OF THE VERMONT GENERAL PERMIT.
 - INSPECTION FREQUENCY MAY BE REDUCED TO NOT LESS THAN ONE PER WEEK IF THE ENTIRE SITE IS TEMPORARILY STABILIZED AND ALL CONSTRUCTION ACTIVITY HAS BEEN SUSPENDED. INSPECTIONS SHALL RESUME PRIOR TO RESUMING CONSTRUCTION ACTIVITY IN ACCORDANCE WITH THE REQUIREMENTS LISTED ABOVE.
 - IN ADVANCE OF A PREDICTED RAINFALL OR SNOWMELT EVENT, ALL MANAGEMENT PRACTICES APPROPRIATE TO CURRENT AREAS OF DISTURBANCE MUST BE CHECKED AND REPAIRED AS NECESSARY TO ENSURE PROPER OPERATING CONDITION. IF NECESSARY TO PREVENT SEDIMENT DISCHARGE FROM THE CONSTRUCTION SITE, THIS WILL INCLUDE THE TEMPORARY STABILIZATION OF ALL DISTURBED SOILS ON THE SITE IN ADVANCE OF THE ANTICIPATED RUNOFF PERIOD.

PUBLIC NOTICE AND DPW COORDINATION

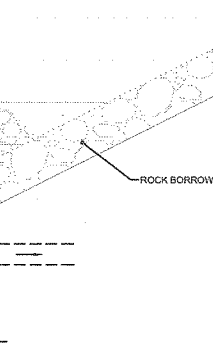
- A COPY OF THE CITY OF BURLINGTON EROSION PREVENTION AND SEDIMENT CONTROL PERMIT AND THE AUTHORIZATION TO DISCHARGE, A BRIEF DESCRIPTION OF THE PROJECT, AND THE LOCATION WHERE THE EROSION PREVENTION AND SEDIMENT CONTROL PLAN IS AVAILABLE SHALL BE POSTED AT A LOCATION ON THE PROJECT SITE THAT IS VISIBLE TO THE PUBLIC.
- THE LANDOWNER OR SITE CONTRACTOR SHALL CONTACT THE CITY STORMWATER ADMINISTRATOR AT 540-1748 OR MAJOR@BURLINGTON.VT.GOV AT LEAST 24 HOURS PRIOR TO ANY EARTH DISTURBANCE, AND SHALL PROVIDE THE NAME AND CONTACT INFORMATION FOR THE ON-SITE PLAN COORDINATOR.
- THE ON-SITE PLAN COORDINATOR SHALL NOTIFY THE CITY STORMWATER ADMINISTRATOR PRIOR TO OCTOBER 15 IF THE SITE WILL NOT BE STABILIZED BY NOVEMBER 1 OR ADDITIONAL WORK IS PROPOSED DURING THE WINTER CONSTRUCTION PERIOD.
- THE LANDOWNER OR ON-SITE PLAN COORDINATOR SHALL CONTACT THE CITY STORMWATER ADMINISTRATOR TO SCHEDULE A STABILIZATION INSPECTION WHEN SITE WORK IS FINISHED AND STABILIZATION MEASURES HAVE BEEN INSTALLED.

GRAPHIC SCALE



LEGEND

- STABILIZED CONSTRUCTION EXIT
- STONE STABILIZATION
- TEMPORARY SHEETING / RETAINING WALL
- TEMPORARY GROUND CONTOUR
- CONSTRUCTION FENCE / LIMIT OF DISTURBANCE
- TEMPORARY SILT FENCE



TEMPORARY SHEETING

SEE PLANS AND SPECIFICATIONS BY OTHERS FOR THE DESIGN AND INSTALLATION OF TEMPORARY SHEETING. CARE SHALL BE TAKEN DURING CONSTRUCTION TO AVOID DISTURBANCE OF EXISTING UTILITIES ADJACENT TO THE WORK AREA.

SEDIMENT BASIN DATA

CONTRIBUTING DRAINAGE AREA = 1.0 ACRE

REQUIRED STORAGE VOLUME = 3600 CF
(MINIMUM 3600 CF PER ACRE)

ACTUAL CUMULATIVE STORAGE VOLUME:

ELEVATION	VOLUME
145'	0 CF
146'	540 CF
147'	1410 CF
148'	2620 CF
149'	4180 CF
150'	6140 CF

CLEANOUT / MAINTENANCE:

MAINTAIN 2' SUMP. REMOVE SEDIMENT WHEN DEPTH IS 36" BELOW TOP OF OUTLET PIPE

Date	Revision	By
These plans shall only be used for the purpose shown below:		
<input type="checkbox"/> Sketch/Concept	<input type="checkbox"/> Act 250 Review	Project No. 13056
<input type="checkbox"/> Preliminary	<input type="checkbox"/> Construction	Survey JPS
<input checked="" type="checkbox"/> Final Local Review	<input type="checkbox"/> Record Drawing	Design N/A
LANDS OF CHAMPLAIN COLLEGE, INC.		
KING STREET, BURLINGTON		
EROSION PREVENTION AND SEDIMENT CONTROL PLAN CONSTRUCTION PHASE 1		
Lamoureux & Dickinson Consulting Engineers, Inc. 14 Morse Drive, Essex, VT 05452 802-878-4450 www.LDengineering.com		
Sheet number 2		
PHASE 1		